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Access Report for 28 & 30 Mckay Avenue, Moorebank, NSW

Prepared for: DA approval

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1. Introduction

Loka Consulting Engineers Pty Ltd has been engaged by Morfosis Architects to provide Access assessment for the proposed residential development located at 28 & 30 Mckay Avenue, Moorebank, NSW within The Liverpool Council for DA stage.

An Access assessment report has been completed based on the following drawings prepared by Morfosis Architects:

No	Title	Drawing No.	Revision	Date
1	Basement level 01 plan	DA-201	P6	25/10/2022
2	Basement level 02 plan	DA-202	P6	25/10/2022
3	Ground floor plan	DA-203	P6	25/10/2022
4	Level 01 floor plan	DA-204	P6	25/10/2022
5	Level 02 floor plan	DA-205	P6	25/10/2022
6	Level 03 floor plan	DA-206	P6	25/10/2022
7	Level 04 floor plan	DA-207	P6	25/10/2022
8	Level 05 floor plan	DA-208	P6	25/10/2022
9	Sections	DA-302	P6	25/10/2022
10	Ramp sections	DA-303	P6	25/10/2022

2. Purpose of the Report

The purpose of this report is to provide an accessibility review of the amended plans of the subject development to ascertain whether the development is consistent with the requirements of access and adaptable housing requirements for the proposed residential building development.

The subject project achieves the spatial requirements to provide access for people with disability under the relevant standards and codes, it is required that a detailed assessment to be undertaken covering but not limited of internal fit-out, details for stairs, ramps, finishes, amenities and other features to occur at CC "Construction Certificate" stage.

By adopting the recommendation set in this report, the proposed building/facility complies with the requirements of AS4299 and equitable and dignified access for all users of the building/facility.

3. Assessment Criteria

The assessment based on the following legislation, planning instruments and standards pertaining to access for people with disabilities:

- 1- Australian Standard AS4299 (1995) Adaptable housing

For those instances of "Deemed to Satisfy (DTS) non-compliance", a detailed analysis and commentary is provided. Where items are nominated as 'Compliance Achievable' it is considered that the existing plans are capable of achieving compliance subject to implementation of the requirements in the construction phase of the development.

4. Development Summary

- The development proposes residential flat building with a total of 28 units. It is comprised of 2 basements, ground floor and 5 upper levels.
- Two basement levels function primarily as car parking. There is a sum of 32 car parking spaces in total including 3 accessible parking spaces & 1 accessible parking space for visitors.
- The accessible parking spaces include minimum 2400mm wide spaces adjoining 2400mm wide shared areas.
- The development proposes an entrance from McKay Avenue.
- The development proposes 3 adaptable units of Category C of AS4299.

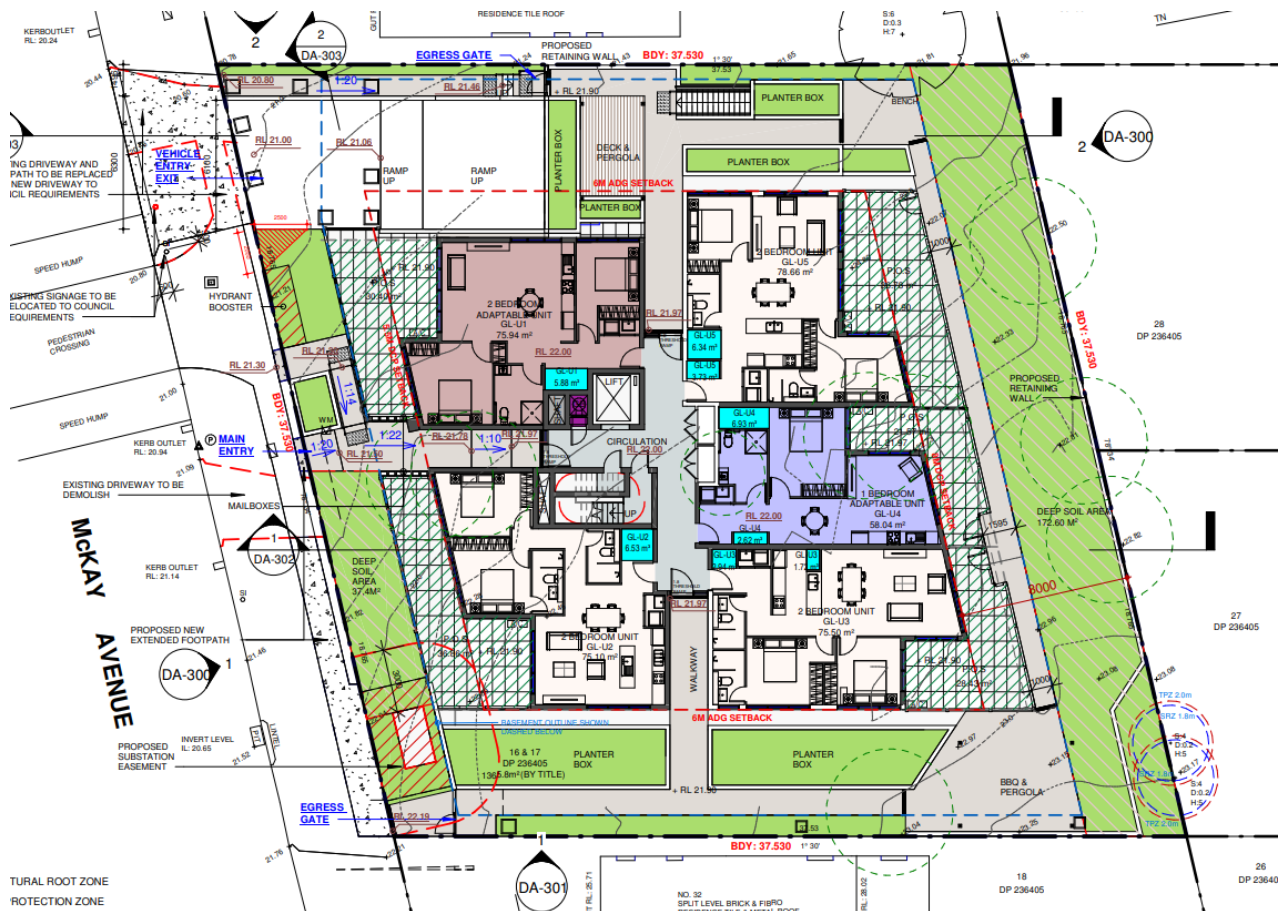


Figure 1: Ground Floor plan

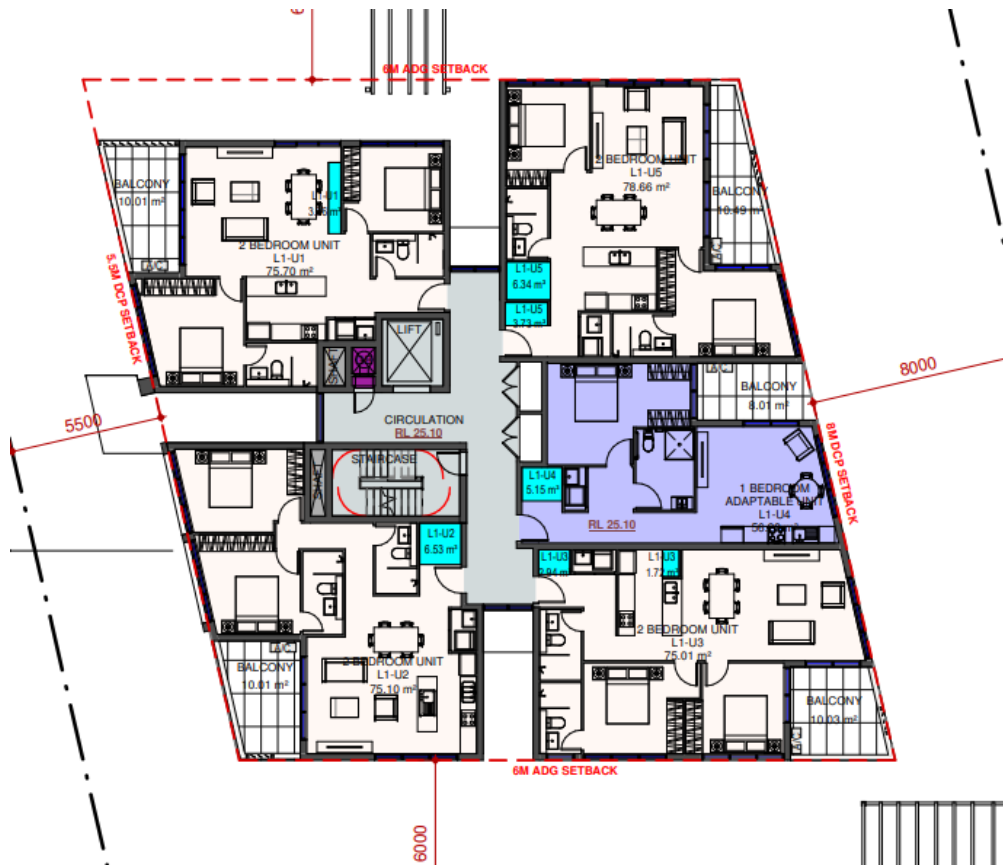


Figure 2: Level 01 Floor plan

This report is for a proposed Residential Flat Building, the development being a building with classification as detailed below:

- Class 2 – Residential building
- Class 7a – Car parking

The assessment of the proposed development has been undertaken to the extent necessary to issue DA (Development application) consent under the Environmental Planning and Assessment Act. The proposal achieves the spatial requirements to provide access for people with disability and it is assumed that assessment of the detailed requirements such as assessment of internal fit-out, details of stairs, ramps and other features will occur at CC (Construction Certificate) stage.

By compliance with the recommendation in this report, the development complies with the requirements of Access Code of AS 4299 adaptable units of Category C.

5. Australian Standard AS4299 (1995) Adaptable housing

The following assessment summarises the compliance status of the design documentation with reference to AS4299:

Item	Requirement	Compliance	Comments/ Recommendation
DRAWINGS	Provision of drawings showing the housing unit in its pre-adaptation and post-adaptation stages.	Compliances are achievable Details to be verified at CC stage of works	Plans are provided already in post-adaptation stage. Hence, pre and post adaptation plans are same.
SITING	A continuous accessible path of travel from street frontage and vehicle parking to entry complying with AS 1428.1.	Compliances are achievable Details to be verified at CC stage of works	There is a continuous accessible path from the basement accessible car parking spaces to their units via lift. Providing an accessible path from McKay Avenue into the building lobby complying with AS 1428.1 will lead to compliance.
LETTERBOXES IN ESTATE DEVELOPMENTS	Letter boxes to be on hard standing area connected to accessible pathway.	Compliances are achievable Details to be verified at CC stage of works	Providing letter boxes located on a hard standing area with max grade 2.5% complying with AS 1428.1 will lead to compliance.
PRIVATE CAR ACCOMMODATION	Car parking space or garage min. area 5.4m * 2.4m with a shared zone of min 5.4m * 2.4m.	Complies	3 accessible parking spaces & 1 accessible parking space for visitors are complying with AS2890.6 are provided in basement 1.
ACCESSIBLE ENTRY	Accessible entry.	Compliances are achievable	There is an accessible entrance from McKay Avenue. Providing a landing in between the ramps complying with AS 1428.1 will lead to compliance. Ensure all ramps to comply with AS 1428.1.
	Accessible entry to be level (i.e. max. 1:40 slope)		
	Threshold to be low-level.		

	<p>Landing to enable wheelchair manoeuvrability</p> <p>Accessible entry door to have 850 mm min. clearance</p> <p>Door lever handles and hardware to AS 1428.1</p>	<p>Details to be verified at CC stage of works</p>	<p>Providing a passing space for wheelchairs in the walkway at the back as the distance is more than 20m complying with AS 1428.1 will lead to compliance.</p> <p>All accessible entry doors have min. 850 mm clear widths.</p> <p>Ensure door lever handles and hardware comply with AS 1428.1.</p>
INTERIOR: GENERAL	<p>Internal doors to have 820 mm min. clearance</p> <p>Internal corridors min. width of 1000 mm</p> <p>Provision for compliance with AS 1428.1 for door approaches</p>	<p>Compliances are achievable</p> <p>Details to be verified at CC stage of works</p>	<p>Ensure all internal doors for adaptable units must have min. 820 mm clear widths.</p>
LIVING ROOM & DINING ROOM	<p>Provision for circulation space of min. 2250 mm diameter</p> <p>Telephone adjacent to GPO</p> <p>Potential illumination level min. 300 lux</p>	<p>Compliances are achievable</p> <p>Details to be verified at CC stage of works</p>	<p>Provision shall be made for circulation space to enable a 360° wheelchair turn after the furniture has been placed (an area of min. 2250 mm diameter).</p> <p>Provide telephone adjacent to GPO.</p> <p>Ensure potential illumination level to be min.300 lux.</p>
KITCHEN	<p>Minimum width 2.7 m (1550 mm clear between benches)</p> <p>Provision for circulation at doors to comply with AS 1428.1</p> <p>Provision for benches planned to include at</p>	<p>Compliances are achievable</p> <p>Details to be verified at CC stage of works</p>	<p>There are no doors in all adaptable kitchens.</p> <p>All adaptable kitchens must comply with the followings:</p> <p>Kitchen legs must be adjustable that allow the kitchen to be lowered providing at least one work surface of 800 mm length, adjustable in height between 750-850 mm. Work surface must be adjacent to refrigerator, and oven. It must also be min. 800 mm adjacent to cooktop at same height.</p>

least one work surface of 800 mm length, adjustable in height from 750 mm to 850 mm or replaceable. Refer to Figure 4.8		
Refrigerator adjacent to work surface		
Kitchen sink adjustable to heights from 750 mm to 850 mm or replaceable		
Kitchen sink bowl max. 150 mm deep		
Tap set capstan or lever handles or lever mixer		
Tap set located within 300 mm of front of sink		
Cooktops to include isolating switch side controls with raised cross bars		
Cooktops to include isolating switch		
Work surface min. 800 mm length adjacent to cooktop at same height		
Oven located adjacent to an adjustable height or replaceable work surface		
GPOs to comply with AS 1428.1. At least one double GPO within 300 mm of front of work surface		
		<p>Kitchen sink must be adjustable to heights between 750-850 mm or replaceable and the sink bowl must be max. 150 mm deep.</p> <p>Tap set must be located within 300 mm of front of sink and its type to be capstan or lever handles or lever mixer.</p> <p>Cooktops must include either front or side controls with raised cross bars and isolating switch.</p> <p>GPOs must comply with AS 1428.1 and at least one double GPO is to be provided within 300 mm of front of work surface. GPO for refrigerator must be easily reachable when the refrigerator is in its operating position.</p> <p>Ensure the floor surface is slip-resistant.</p> <p>These features are required for pre and post adaptation.</p>

	GPO for refrigerator to be easily reachable when the refrigerator is in its operating position		
	Slip-resistant floor surface		
MAIN BEDROOM	At least one bedroom of area sufficient to accommodate queen size bed and wardrobe and circulation space requirements of AS 1428.2	<p>Compliances are achievable</p> <p>Details to be verified at CC stage of works</p>	Ensure that bedroom must accommodate queen size bed and wardrobe and circulation space requirements complying with AS 1428.2.
BATHROOM	<p>Provision for bathroom area to comply with AS 1428.1</p> <p>Slip-resistant floor surface</p> <p>Shower recess - no hob. Minimum size 1160*1100 to comply with AS 1428.1. (Refer Figures 4.6 and 4.7)</p> <p>Shower area waterproofed to AS 3740 with floor to fall to waste</p> <p>Recessed soap holder</p> <p>Shower taps positioned for easy reach to access side of shower sliding track</p> <p>Provision for adjustable, detachable hand held</p>	<p>Compliances are achievable</p> <p>Details to be verified at CC stage of works</p>	<p>Bathroom must have a firm, slip-resistant surface with a texture that is traversable by a wheelchair.</p> <p>Shower area must be waterproofed to AS 3740 with floor to fall to waste.</p> <p>Soap holder must be recessed.</p> <p>Shower taps must be positioned for easy reach to access side of shower sliding track.</p> <p>The shower must have strengthened walls at grab rail locations, and adjustable, detachable hand-held shower rose mounted on a slider grab rail or fixed hook.</p> <p>Type of tap sets must be capstan or lever handles with single outlet.</p> <p>Washbasin must be installed according to AS 1428.1</p> <p>The bathroom plumbing must be in the same position as pre and post adaptation.</p> <p>A double GPO must be provided beside the mirror.</p>

	<p>shower rose mounted on a slider grab rail or fixed hook (plumbing and wall - strengthening provision)</p> <p>Provision for grab rail in shower (Refer to Figure 4.7) to comply with AS 1428.1</p> <p>Tap sets to be capstan or lever handles with single outlet</p> <p>Provision for washbasin with clearances to comply with AS 1428.1</p> <p>Double GPO beside mirror</p>		These features are required for pre and post adaptation.
TOILET	<p>Provision of either 'visit able toilet' or accessible toilet</p> <p>Provision to comply with AS 1428.1</p> <p>Location of WC pan at correct distance from fixed walls</p> <p>Provision for grab rail zone. (Refer Figure 4.6)</p> <p>Slip resistant floor surface. (Vitreous tiles or similar)</p>	<p>Compliances are achievable</p> <p>Details to be verified at CC stage of works</p>	<p>WC pan must be located at correct distance from fixed walls.</p> <p>Strengthened walls must be provided at grab rail locations.</p> <p>Ensure the floor surface is slip-resistant.</p>
LAUNDRY	<p>Circulation at doors to comply with AS 1428.1</p> <p>Provision for adequate circulation space in front of or beside</p>	<p>Compliances are achievable</p> <p>Details to be verified at CC stage of works</p>	<p>Provision of automatic washing machine should be provided.</p> <p>Provision of dryer or clothes line with accessible path of travel should be provided.</p> <p>A double GPO must be provided.</p>

	<p>appliances (min. 1550 mm depth)</p> <p>Provision for automatic washing machine</p> <p>Where clothes line is provided, an accessible path of travel to this</p> <p>Double GPO</p> <p>Slip-resistant floor surface</p>		Ensure the floor surface is slip-resistant.
DOOR LOCKS	Door hardware operable with one hand, located 900–1100 mm above floor	<p>Compliances are achievable</p> <p>Details to be verified at CC stage of works</p>	D-lever type doors handles must be provided at a height between 900-1100mm from the ground surface with sufficient grasping clearance.
Garbage Room	Door width of min 850mm Door Circulation space must be complying with AS1428.1	Complies	<p>The garbage room is proposed on basement 1 with an accessible path from the accessible unit.</p> <p>The garbage room has double leaf door with both of the leaves having min width of 920mm.</p> <p>The door circulation space of garbage room is complying with AS1428.1.</p> <p>The bins used are 240L bins that have a height of 1100mm.</p>
Storage for linen	Linen cupboard min 600mm wide with adjustable shelving.	<p>Compliances are achievable</p> <p>Details to be verified at CC stage of works</p>	Ensure to provide min 600mm wide linen cupboard with adjustable shelving complying with AS4299.

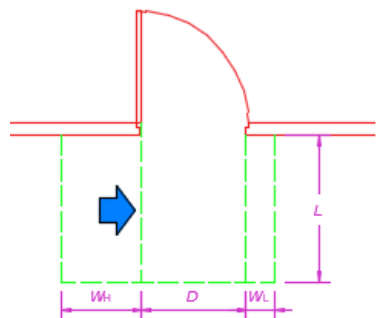
Appendix A – References

The below figures are taken from AS1428.1, AS2890.6 for accessible car parking and AS 1735.12 for lifts. They should be taken as references only for broader knowledge, more clarification and to support the “comments/recommendations” part of the table in Section 5 of the report.

Section A.1 Door circulation space

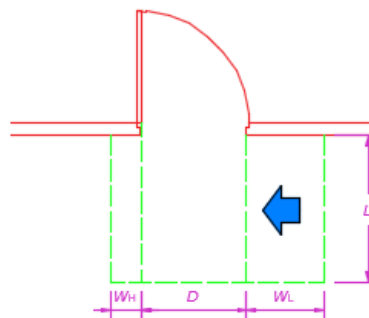
Circulation spaces shall be provided at every doorway, gate, or similar entry way, on a continuous accessible path of travel. Circulation spaces at doorways shall have a gradient and crossfall not steeper than 1 in 40. Doorway circulation spaces shall be used in combination to allow access through doorways in both directions.

The clear circulation space at doorways with swinging doors is based on the clear opening width of the doorway (D). The clear circulation space shall be not less than the dimensions specified in the tables below each figure for the appropriate clear opening width.



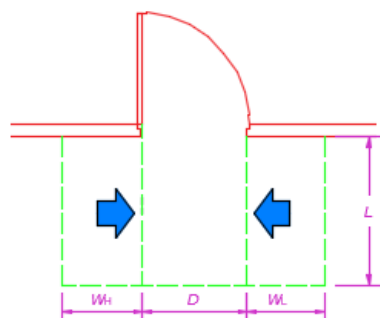
Dimension D	Dimension L	Dimension Wh	Dimension Wl
850	1220	560	340
900	1185	510	340
950	1160	460	340
1000	1140	410	340

(a) Hinge-side approach, door opens away from user



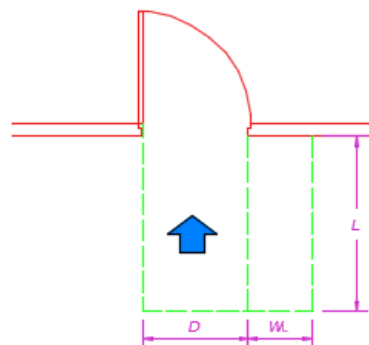
Dimension D	Dimension L	Dimension Wh	Dimension Wl
850	1240	240	660
900	1210	190	660
950	1175	140	660
1000	1155	90	660

(b) Latch-side approach, door opens away from user



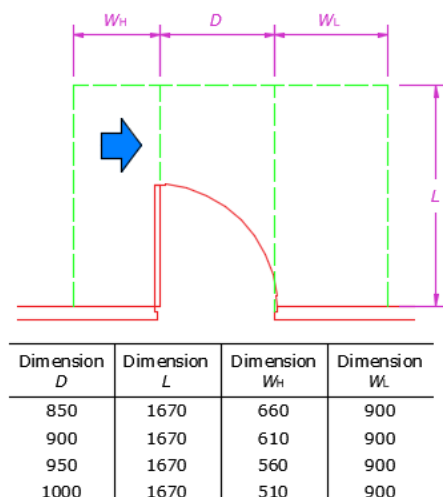
Dimension D	Dimension L	Dimension Wh	Dimension Wl
850	1240	560	660
900	1210	510	660
950	1175	460	660
1000	1155	410	660

(c) Either side approach, door opens away from user

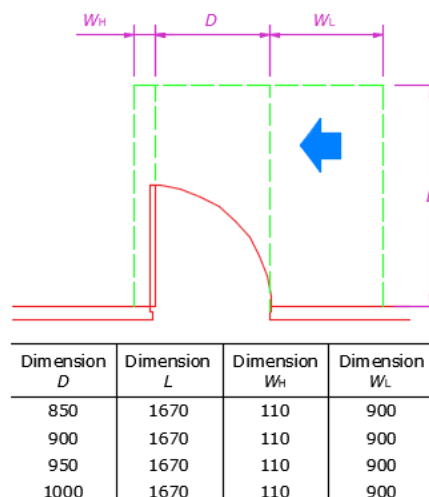


Dimension D	Dimension L	Dimension Wh	Dimension Wl
850	1450	0	510
900	1450	0	510
950	1450	0	510
1000	1450	0	510

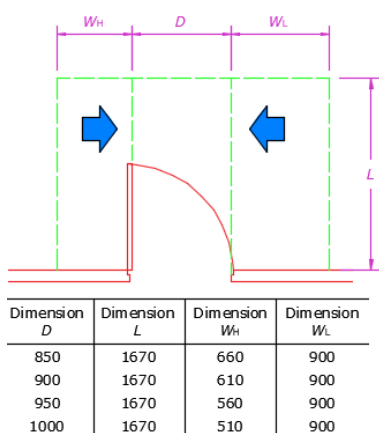
(d) Front approach, door opens away from user



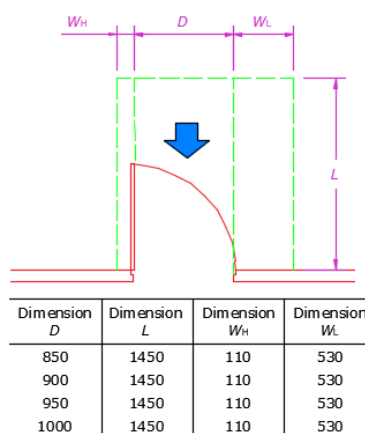
(e) Hinge-side approach, door opens towards user



(f) Latch-side approach, door opens towards user



(g) Either side approach, door opens towards user



(h) Front approach, door opens towards user

LEGEND:

D = Clear opening of width of doorway

L = Length

WH = Width-hinge side

WL = Width-latch side

 = Direction of approach

 = Circulation space

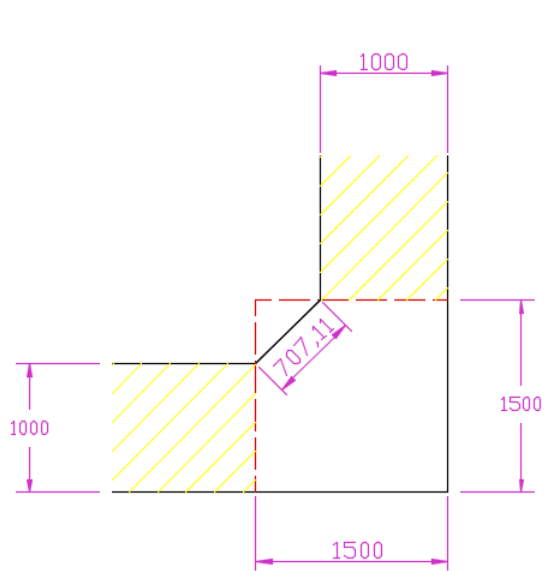
DIMENSIONS IN MILLIMETRES

Figure 1: circulation spaces at doorways with swinging doors

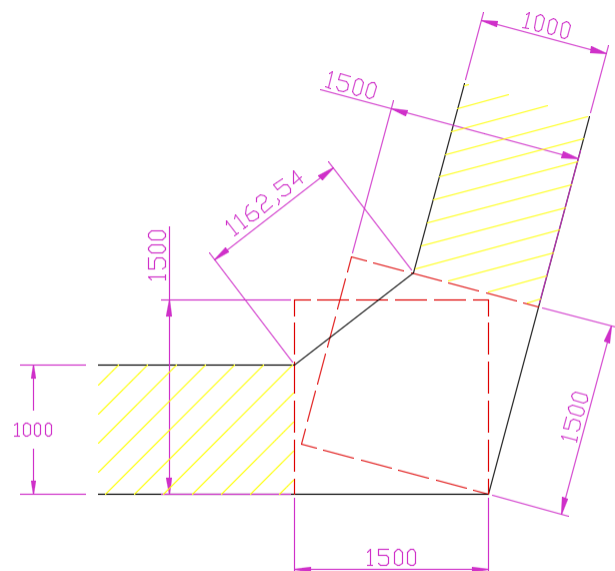
Section A.2 Circulation space for wheelchair turn

60° to 90° degrees turn

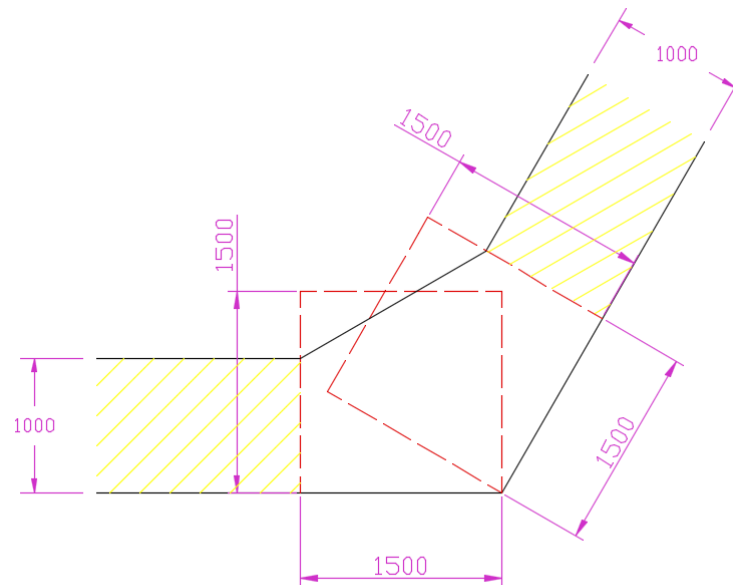
The space required for a wheelchair to make a 60° to 90° turn shall have a gradient no steeper than 1 in 40 and shall be not less than 1500 mm wide and 1500 mm long in the direction of travel. The space may be splayed across the internal corner.



Turn 90° in path of travel
Corridor less than 1500 mm wide requires
widening at turn



Turn 75° in path of travel
Corridor less than 1500 mm wide requires
widening at turn



Turn 60° in path of travel
Corridor less than 1500 mm wide requires
widening at turn

Figure 2: Space required for 60° - 90° turn

Section A.3 Ramp handrail and TGSI

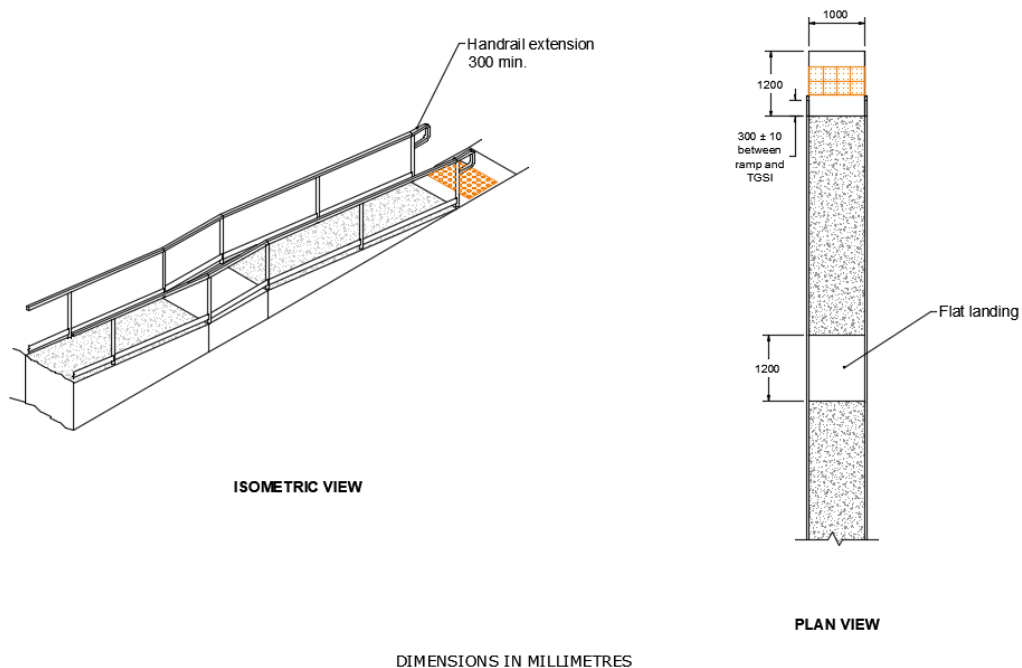


Figure 3: Ramps and landing with no change in direction

Section A.4 Threshold Ramp

Threshold ramps at doorways on a continuous path of travel shall have—

- (a) a maximum rise of 35 mm;
- (b) a maximum length of 280 mm;
- (c) a maximum gradient of 1:8; and
- (d) be located within 20 mm of the door leaf which it serves, as shown in figure below

The edges of the threshold ramp shall be tapered or splayed at a minimum of 45° where the ramp does not abut a wall.

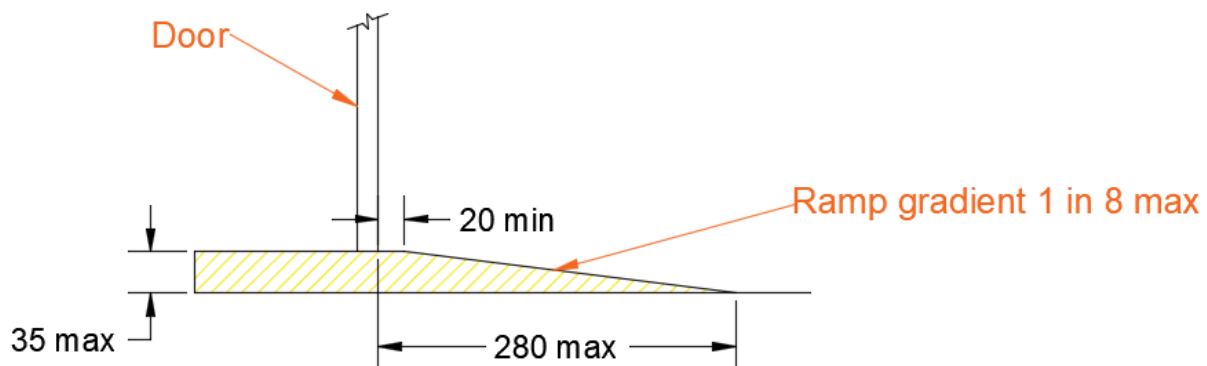


Figure 4: Threshold Ramp

Section A.5 Step ramp

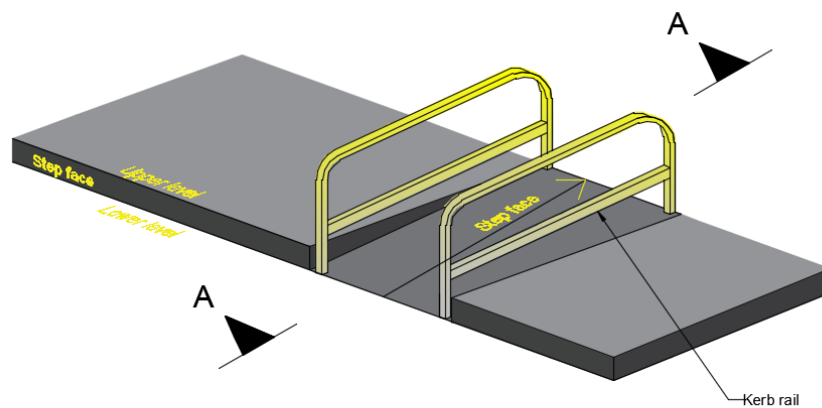
Step ramps shall have—

- a. a maximum rise of 190 mm;
- b. a length not greater than 1900 mm; and
- c. a gradient not steeper than 1 in 10.

Step ramps shall be as shown in Figure 11 below as appropriate.

The edges of step ramp shall have a 45° splay where there is pedestrian cross-traffic. Otherwise, it shall be protected by a suitable barrier, such as—

- i. a wall or suitable barrier with a minimum height of 450 mm; or
- ii. where an open balustrade is provided a kerb or kerb rail shall be provided.



Isometric View

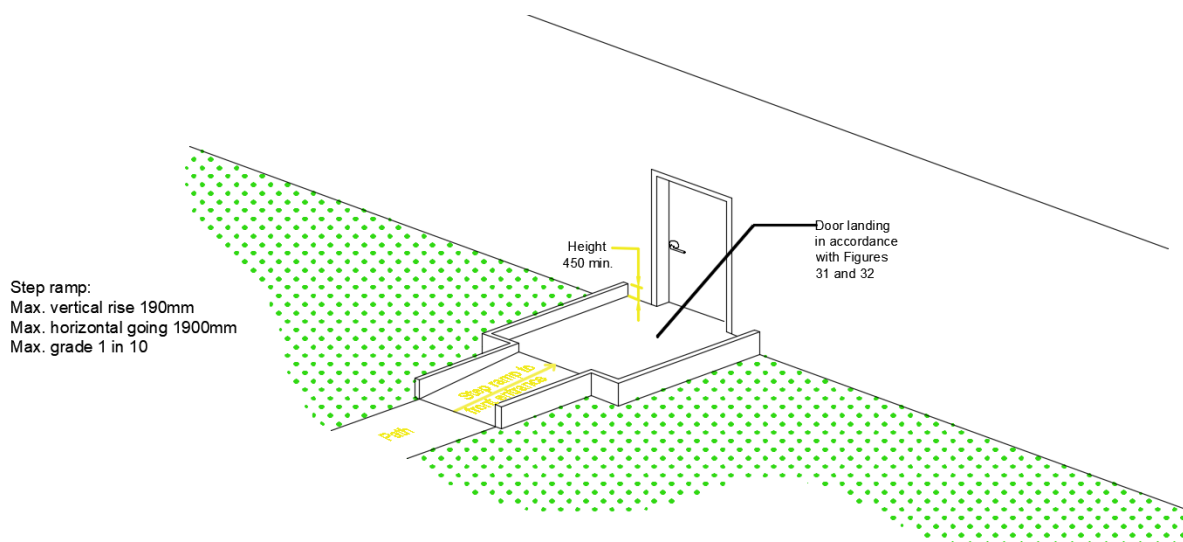


Figure 5: External step ramp at entrance to building

Section A.6 TGSI and handrail

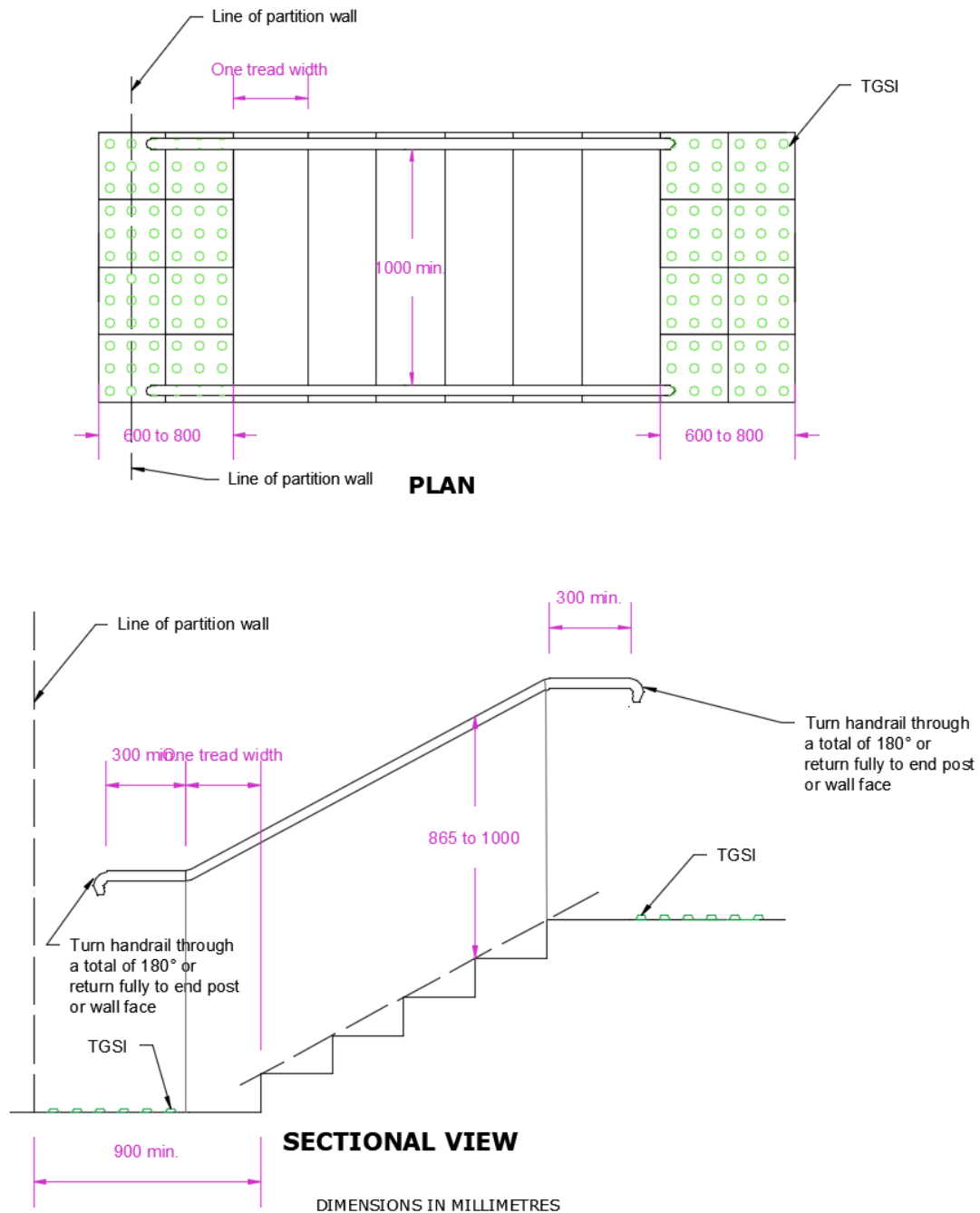


Figure 6: Stairway location and handrail extensions at end of stairway other than at line of boundary

Section A.7 Accessible shower

The general requirements for showers are as follows:

- Shower recesses and the circulation space for each shower recess from the finished floor to a height of not less than 900 mm shall be as shown in Figure 47. Grabrails, shower hose fittings; taps, soap holder, shelf (if provided) and the folding seat are the only fixtures permitted in these spaces.
- Shower recess fittings shall be provided as shown in Figures 47 and 48. Not less than two clothes-hanging devices, as specified in Clause 15.4.4, shall be fitted outside the shower recess. One such device shall be located within 400 ± 10 mm and the other within 600 ± 10 mm of the folding seat.
- If two or more shower recesses are provided, at least one shall be of the opposite hand.

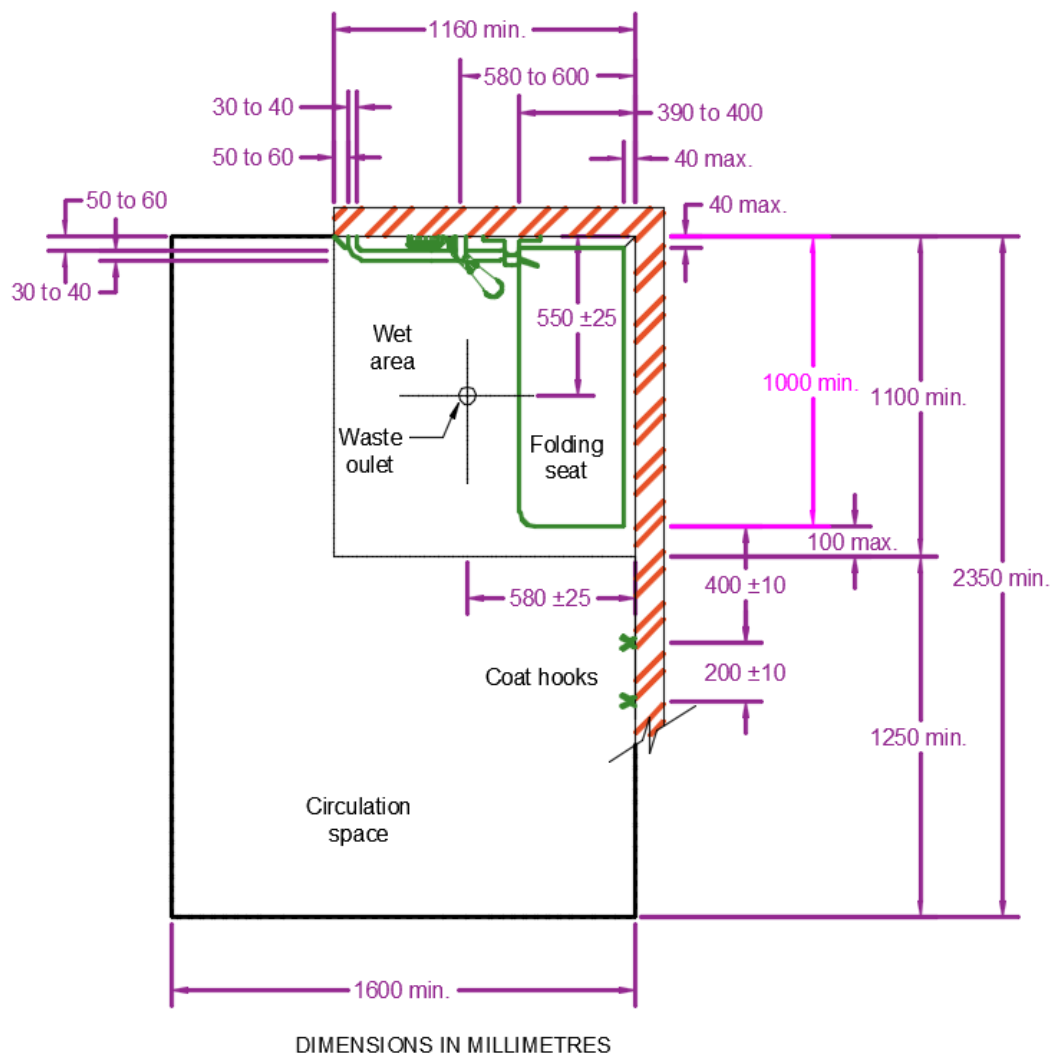


Figure 7: Shower recess and circulation space-plan

Section A.8 Grab rails

Where a concealed or high-level cistern or flush valve is used, a continuous grabrail, as specified in Clause 17, shall be provided across the rear wall and side wall nearest the WC pan, as shown in Figure 2 below. Where a low-level non-concealed cistern or flush valve is used, the grabrail shall be terminated at each side of the cistern, as shown in Figure 2 below.

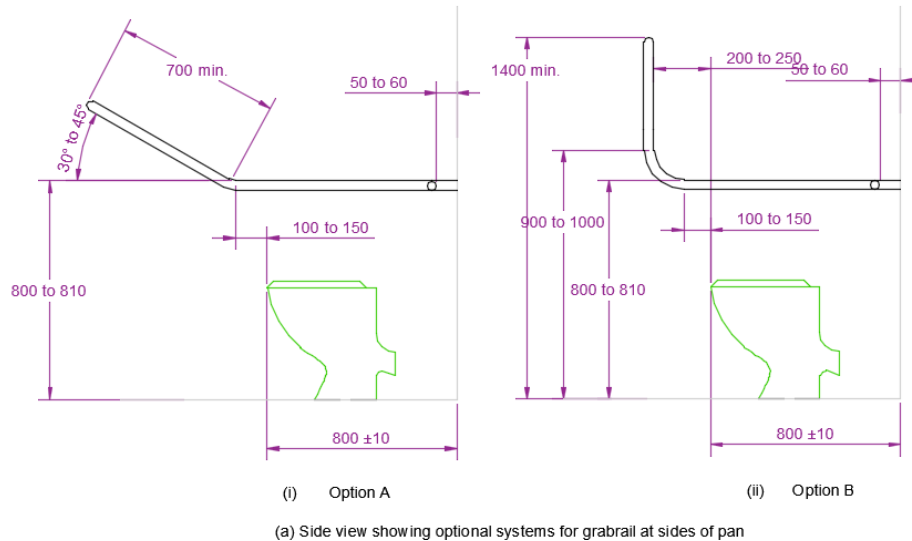


Figure 8: Location of grab rail in an accessible bathroom

Section A.9 GPO

- (a) Switches Light switches shall be located at a height not less than 900 mm nor more than 1100 mm above the finished floor and in line with the door handles. Switches shall be located adjacent to door handles where practical. Two-way switching is preferred.

NOTE: Rocker action, toggle or push pad switches with a recommended width of 35 mm are preferred. For people with severe finger or hand disabilities, these allow convenient operation by arm or elbow.

- (b) Power outlets Except as elsewhere described, GPOs shall be located at a height of not less than 600 mm, with a preferred height of 1000 mm, above the finished floor and in line with the door handles. GPOs shall be located not less than 500 mm horizontally from internal corners. (See Figure 3)

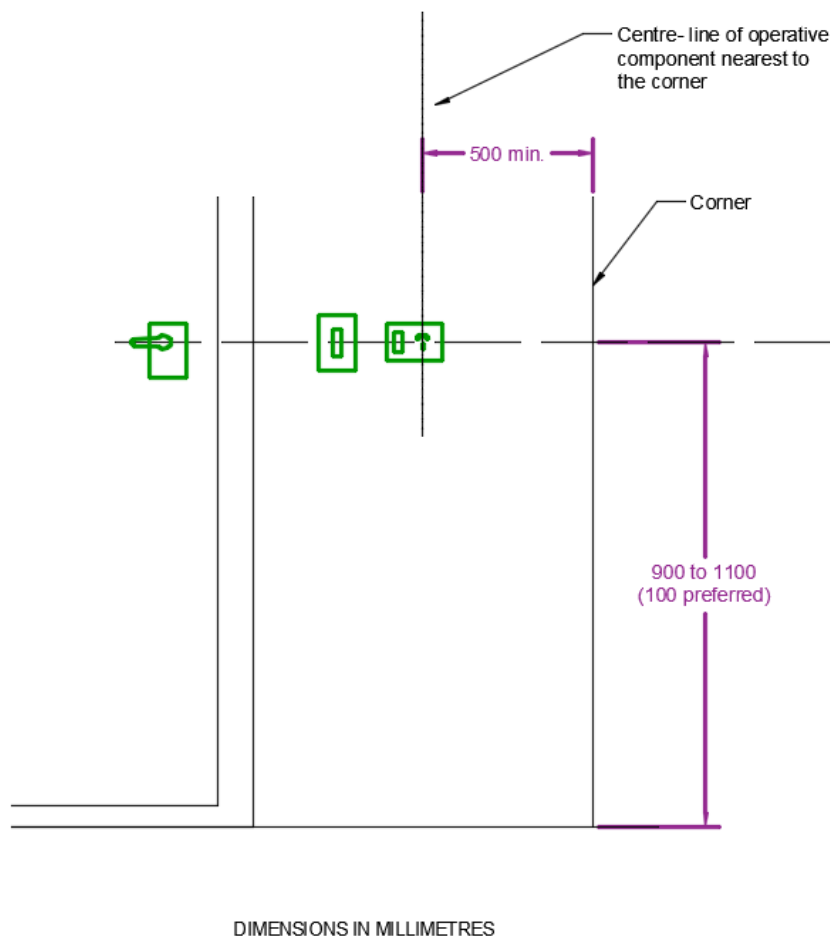


Figure 9: Heights for switches, general purpose outlets and door handles

Section A.10 Laundry

LAUNDRY TUBS: For users in wheelchairs, the height above floor level and the clearance underneath should be in accordance with the requirements for washbasins in AS 1428.1.

Shallow laundry tubs should be provided. Consideration may be given to installing a kitchen sink rather than a deep standard-sized laundry tub.

Frontal approach to tubs is preferred. If it is not practical to provide knee access below laundry tubs, planning may allow for a parallel approach rather than a frontal approach.

WASHING MACHINE AND DRYER: Front-loading machines are preferred.

It is desirable that fixed plumbing outlets are made for washing machines.

Controls should be clearly marked and easy to operate by the intended user. Soft touch controls are preferred.

Controls and taps for washers and dryers should be in the zone of common reach shown in Figure 23.

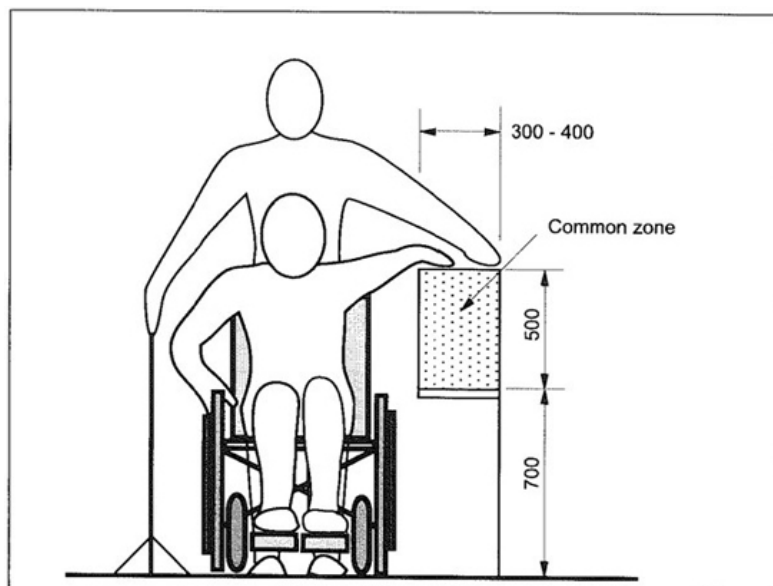


Figure 10: Zone of common reach for ambulant people with disabilities and wheelchair users

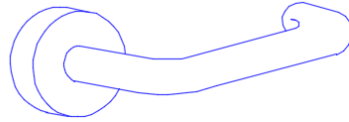
CLOTHESLINE: Where a clothesline is installed and may be used by people who are either standing or seated, it should be installed so that its operating height at its lowest is 1100 mm, and at its highest is 1600 mm from the ground surface.

Access to the clothesline should be provided as part of the accessible path of travel within and to the building.

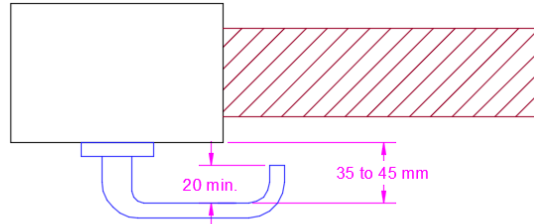
Section A.11 Door handles

Door handles and related hardware and accessories shall comply with the following:

- (a) The door handle and related hardware shall be of the type that allows the door to be unlocked and opened with one hand. The handle shall be such that the hand of a person who cannot grip will not slip from the handle during the operation of the latch.
- (b) The clearance between the handle and the back plate or door face at the centre grip section of the handle shall be not less than 35 mm and not more than 45 mm.
- (c) 'D' type handles shall be provided on sliding doors.
- (d) Where snibs are installed, they shall have a lever handle of a minimum length of 45 mm from the centre of the spindle.
- (e) Where an outward opening door is not self-closing, a horizontal handrail or pull bar shall be fixed on the closing face of a side-hung door.



(a) Isometric view



(b) Plan view

Figure 11: Example of acceptable door hardware for hinged doors

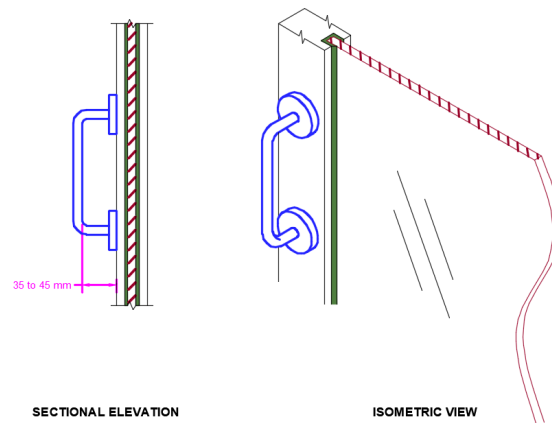


FIGURE 35(B) EXAMPLE OF ACCEPTABLE DOOR HARDWARE FOR SLIDING DOORS

Figure 12: Example of acceptable door hardware for sliding doors

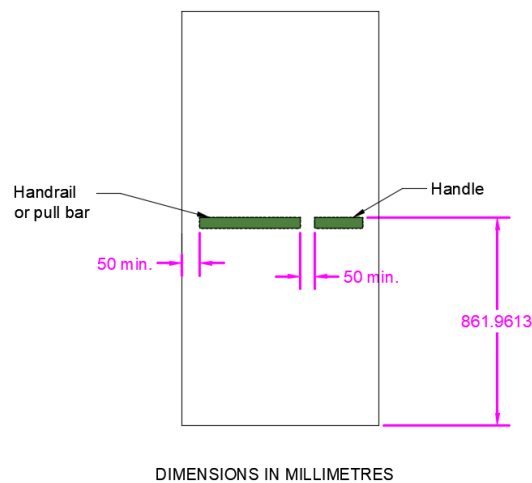


Figure 13: Locations for door controls showing closing face

Section A.12 Oven

Ovens: Wall ovens should be installed so that the bottom shelf is on approximately the same level as the adjacent work surface.

The drop-down type of oven door which does not slide away is not recommended as it limits reach for wheelchair users.

Where a pull-out work surface is not provided, there should be a clear worktop at one side of the oven to allow for set down. If a side-hinged oven door is used, the clear worktop should be on the opposite side as shown in figure below:



Figure 14: Type of oven in an accessible kitchen

Section A.13 Cooktops

COOKTOPS: Cooktops should be flush or as close to flush as possible with the adjacent benchtops and they should have adequate heat-resistant work surfaces.

Cooktops should have countertop controls. For people with vision impairment, tactile markings should be provided on all controls.

For people with vision impairment, gas stoves are preferred as they provide an instant heat that gives an immediate indicator that a burner is operational.

Gas burners should have automatic ignition.

If an electric hotplate is used, coil elements are preferred as they do not transmit as much heat as solid elements to the surrounding area.

Hotplates and burners should be positioned away from trafficable areas within the kitchen.

For general use by people with disabilities and older people, an electric cooking unit is preferred for reasons of safety, especially where there is a loss of sense of smell.

Section A.14 Storage

Accessible storage facilities such as cabinets, shelves, cupboards and drawers shall comply with the following:

- a. **Clear floor space:** A clear floor space of not less than 800 mm x 1300 mm that allows either a forward or parallel approach by a person using a wheelchair shall be provided at accessible storage facilities.
- b. **Height:** Accessible storage spaces shall be within one of the reach ranges specified in Clause 22. Clothes-hanging rods or hooks shall be a maximum of 1350 mm from the floor (see Figure 28).
- c. **Hardware:** Hardware for accessible storage facilities shall comply with Clause 23. Touch latches and D-shaped pulls are acceptable.

NOTES:

1. Sliding doors on cupboards are preferred. These allow manoeuvring space for wheelchairs and reduce the risk of injury to visually impaired.
2. Lightweight gliders should be installed for drawers.



Figure 15: Storage, shelves and wardrobes

Adequate storage shall be provided. Cabinets, drawers and shelf storage areas should be as follows:

- a. Depth of shelving up to 800 mm above the floor should not exceed 600 mm; shelving from 800 mm up to 1500 mm should not exceed 450 mm depth, shelving above 1500 mm from the floor should not exceed 300 mm depth. Shelving should be adjustable.
- b. At least one shelf of all cabinets and storage shelves mounted above a work surface should have a maximum depth of 400 mm and be located no higher than 1200 mm above the floor level.

Appendix B – Statement of Expertise

CONSULTANCY PROFILE AND STATEMENT OF EXPERTISE

Loka Consulting Engineers offers a wide range of professional services to provide advice and auditing services for clients in developing new or modifying existing buildings, facilities and services to be accessible to people with disabilities to comply with legislation and regulations. These legislations and regulations include Disability Discrimination Act (DDA), Building Code of Australia (BCA), Australian Standards AS 1428.1, as 1428.4.1, as 2890.6, AS 1735.12 and various local government development plans.

Apart from providing access report, Loka Consulting Engineers also provides below stated services:

- Traffic report, traffic control plan, waste management plan, Dilapidation report
- Stormwater design
- BASIX and NatHERS
- Soil & Water Management and Erosion & Sediment Control Plan, and many more

The access reports prepared by the Loka Consulting Engineers consider issues concerning people with all types of disability including: physical; vision; hearing, intellectual and other cognitive impairments that may affect access for people with the Disability Discrimination Act.

As a Senior Civil Engineer and the Director, Nermein Loka has 22 years of experience in Civil Engineering field and considerable expertise in a wide range of access related projects.

Her qualifications and affiliations are:

- Associate Member of the Association of Consultants in Access Australia
- Member of Institute of Engineers Australia
- Member of the St. Merkorious Charity, which predominantly focuses on feeding the homeless around Sydney.



Associate Member

Nermein Loka

Association of Consultants in Access Australia, Inc

Certificate of Membership
Associate Member



President
Mr Mark Hall
Vice President
Mrs Sarah Madon
Secretary
Mr Terry Osborn
Treasurer
Ms Lindsay Perry
Committee Members
Ms Cathryn Grant
Mrs Anita Harrop
Mr Francis Lenny
Mr Bryce Tollyday

This is to certify that
Nermein LOKA
Membership Number
550

was admitted as an Associate Class Member of the
Association of Consultants in Access Australia, Inc. on the 7th day of June 2017.
Membership is only valid whilst a current financial member.

Mr Mark Hall
ACA NATIONAL PRESIDENT

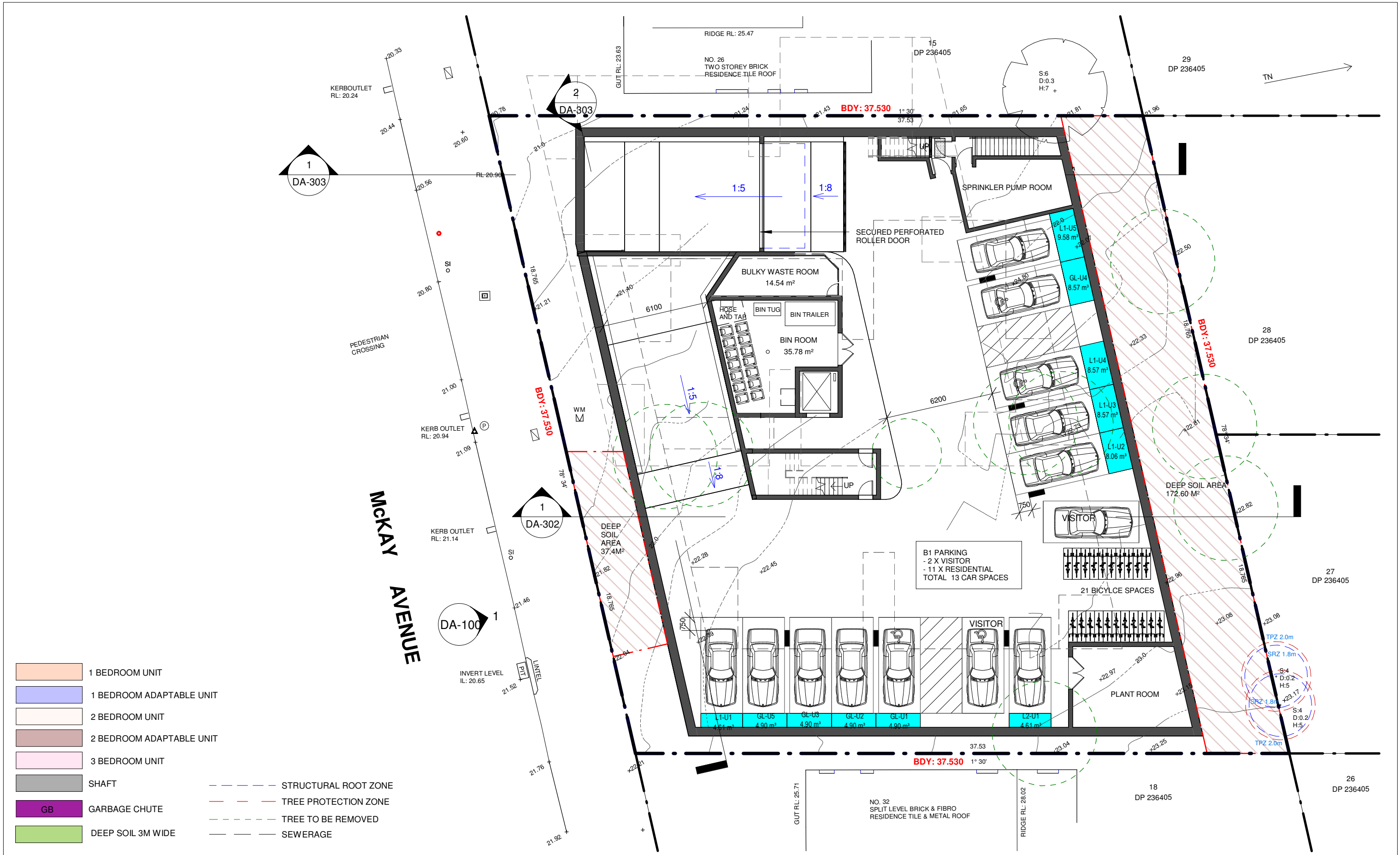
Mr Terry Osborn
ACA SECRETARY

ACA Australia
20 Maud Street
Geelong Victoria
Australia 3220
www.access-act.au
Abn 45 978 370 029



APPENDIX C

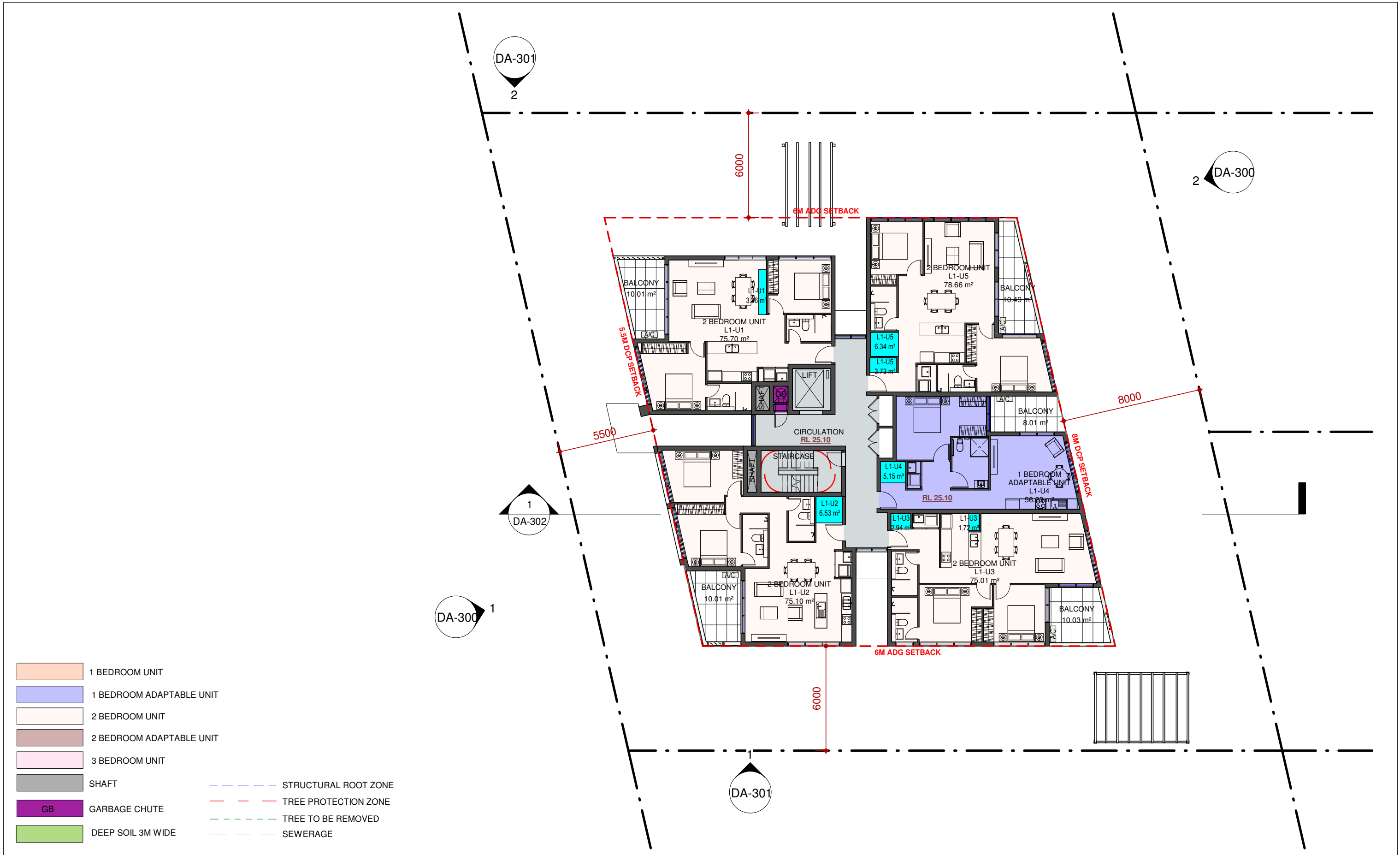
ARCHITECTURAL PLAN



<div>MORFOSIS ARCHITECTS PTY LTD</div> <div>Suite 8 695 The Horsley Drive, Smithfield NSW 2164</div> <div>ABN 44 609 593 473</div> <div>P (02) 8712 5606 / F (02) 8712 5606 / M 0423777623</div> <div>NOM ARCH J LIGADU NSW ARB NO 8549</div>	<div>GENERAL NOTES</div> <div>1. ALL DIMENSIONS AND FLOOR AREAS TO BE VERIFIED BUILDIER PRIOR TO THE COMMENCEMENT OF ANY BUILDING WORK.</div> <div>2. ANY DESCREPANCIESW ARE TO BE CONFIRMED BY THE DESIGNER.</div> <div>3. LEVELS SHOWN ARE APPROXIMATE UNLESS ACCOMPANIED BY REDUCED LEVELS BY A REGISTERED SURVEYOR.</div> <div>4. FIGURED DIMENSIONS ARE TO BE TAKEN IN PREFERENCE TO SCALING.</div> <div>5. ALL BOUNDARY CLEARANCE MUST BE VERIFIED BY THE SURVEYOR PRIOR TO THE COMMENCEMENT OF ANY BUILDING WORK.</div> <div>6. WHERE ENGINEERING OR HYDRAULIC DRAWINGS ARE REQUIRED, SUCH MUST TAKE PREFERENCE TO THIS DRAWING.</div> <div>7. STORMWATER TO BE CONNECTED AND DISCHARGED TO COUNCIL'S REQUIREMENTS AND TO AS 3500.3</div> <div>8. ALL SERVICES TO BE LOCATED AND VERIFIED BY THE BUILDER WITH THE RELEVANT AUTHORITIES PRIOR TO THE COMMENCEMNET OF ANY BUILDING.</div> <div>MORFOSIS ARCHITECTS PTY LTD IS THE OWNER OF THE COPYRIGHT SUBSISTING IN THESE DRAWINGS, PLANS, DESIGN AND SPECIFICATIONS. THEY MUST NOT BE USED, REPRODUCED, OR COPIED IN WHOLE OR IN PART NOR MAY THE INFORMATION, IDEAS AND CONCEPTS THEREIN CONTAINED BE DISCLOSED TO ANY PERSON WITHOUT PRIOR WRITTEN CONSENT OF THE OWNER.</div>			<div>ISSUE</div> <div>P6</div>	<div>CLIENT</div> <div>MCKAY MOOREBANK</div>	<div>DRAWING NUMBER:</div> <div>DA-201</div> <div>DRAWING TITLE:</div> <div>BASEMENT LEVEL 01 PLAN</div> <div>SCALE</div> <div>As indicated @ A3</div> <div></div>	<div>PROJECT</div> <div>RESIDENTIAL FLAT BUILDING DEVELOPMENT AT 28 & 30 MCKAY AVENUE MOOREBANK</div>
	<div>P6</div> <div>DRAFT DA</div> <div>25/10/22</div>	<div>P5</div> <div>DRAFT DA</div> <div>12/09/22</div>	<div>P4</div> <div>DRAFT DA</div> <div>29/06/22</div>	<div>P3</div> <div>DRAFT</div> <div>30/05/22</div>	<div>P2</div> <div>PRELIMINARY</div> <div>09/02/22</div>	<div>P1</div> <div>PRELIMINARY</div> <div>25/07/21</div>	
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- 2 BEDROOM UNIT
- 2 BEDROOM ADAPTABLE UNIT
- 3 BEDROOM UNIT
- SHAFT
- GB GARBAGE CHUTE
- DEEP SOIL 3M WIDE

- STRUCTURAL ROOT ZONE
- TREE PROTECTION ZONE
- TREE TO BE REMOVED
- SEWERAGE

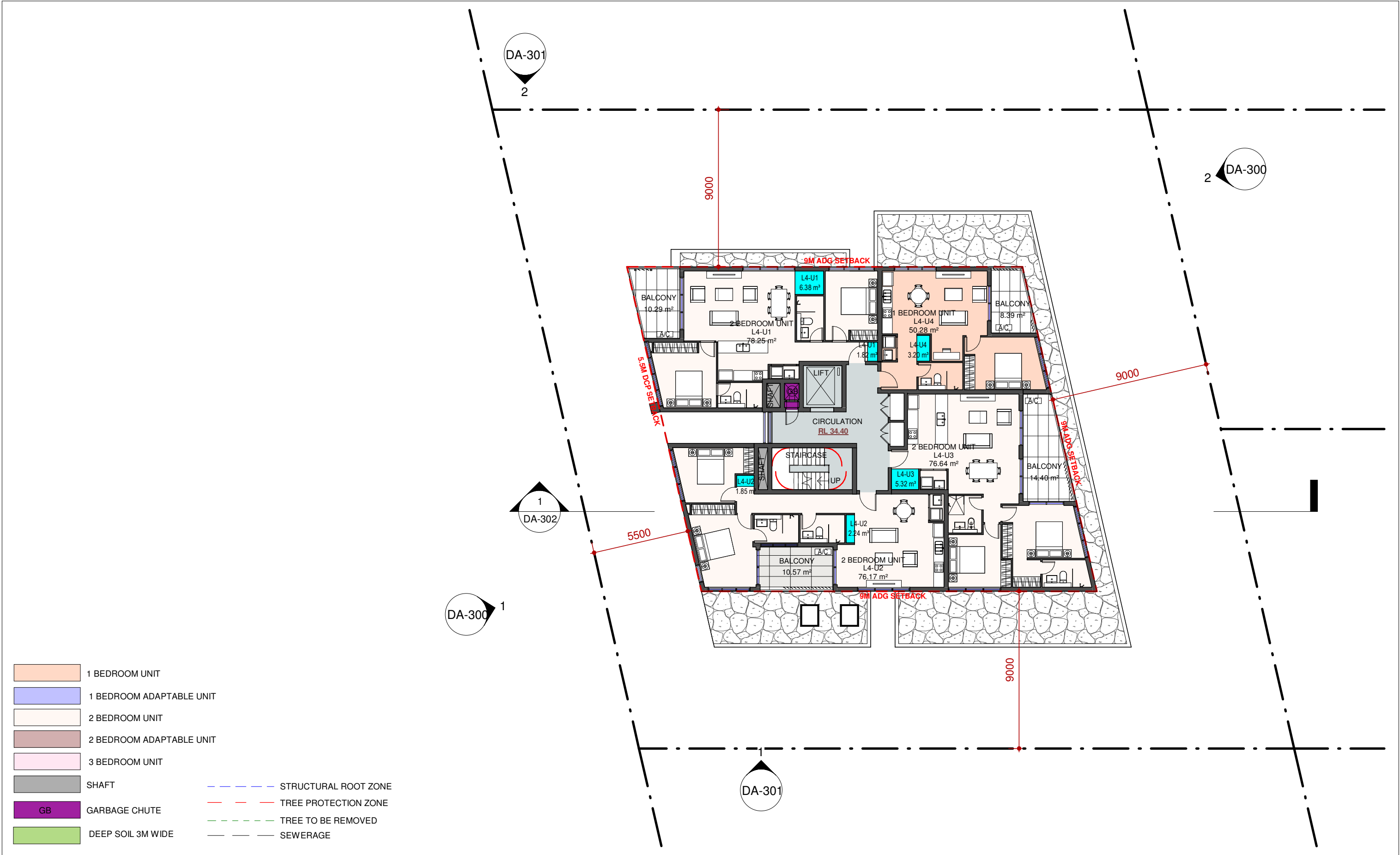
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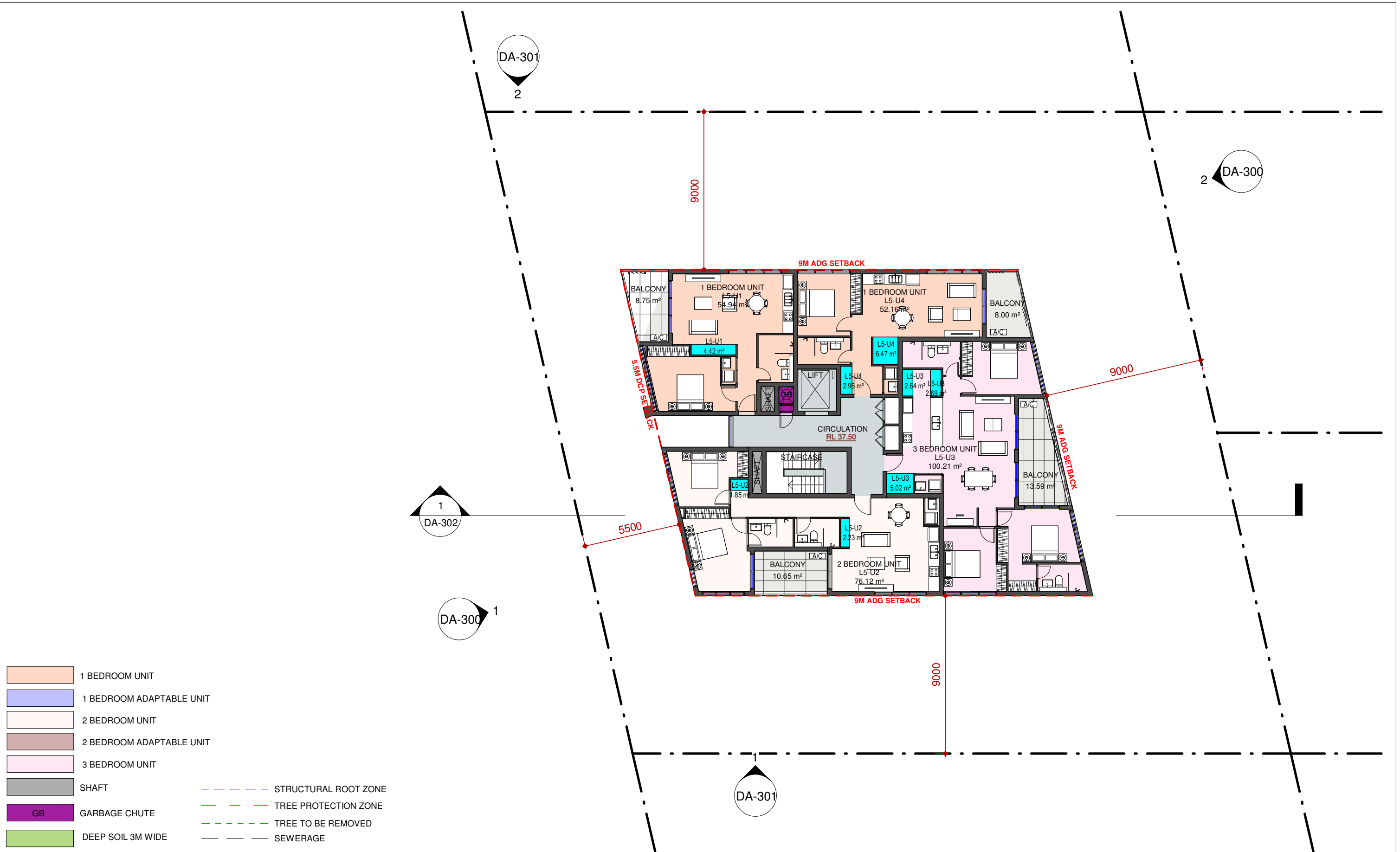
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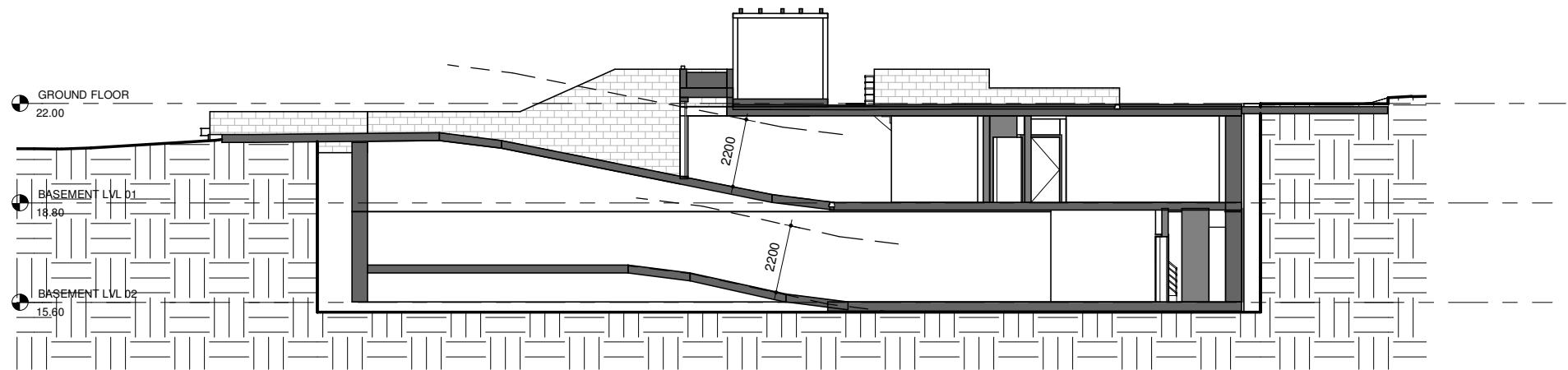
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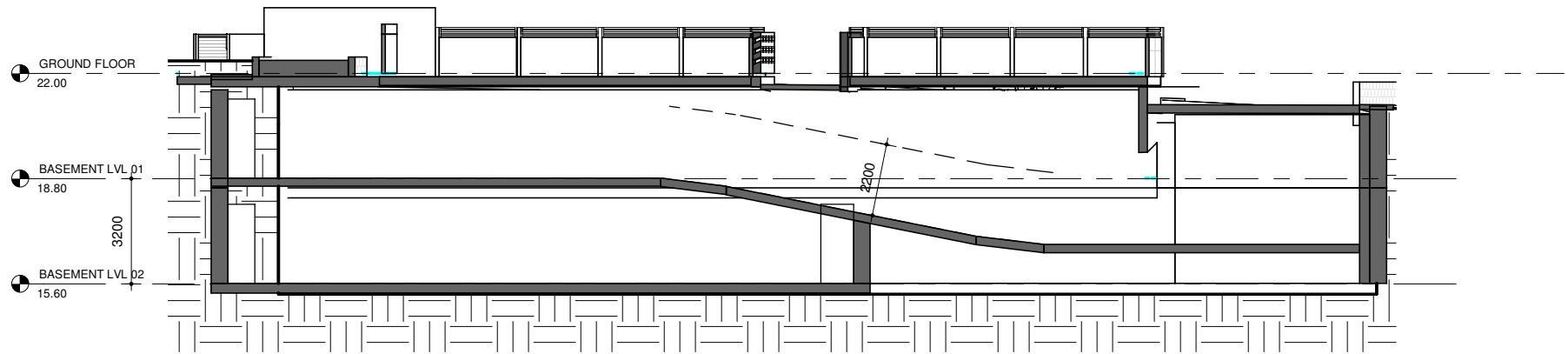
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							<div>SCALE</div> <div>As indicated @ A3</div>			



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		<div>ISSUE</div> <div>AMENDMENTS</div> <div>DATE</div>			<div>SCALE</div> <div>As indicated @ A3</div> <div></div>	



1 Ramp Section 1
DA-303 1 : 200



2 Ramp Section 2
DA-303 1 : 200

MORFOSIS ARCHITECTS PTY LTD

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ABN 44 609 593 473
P (02) 8712 5606 / F (02) 8712 5606 / M 0423777623
NOM ARCH J LIGADU NSW ARB NO 8549

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P5	DRAFT DA	12/09/22

ISSUE	AMENDMENTS	DATE
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ISSUE

P6

CLIENT

MCKAY
MOOREBANK

DRAWING NUMBER:

DA-303

DRAWING TITLE:

RAMP SECTIONS

SCALE

1 : 200 @ A3

PROJECT

RESIDENTIAL FLAT
BUILDING
DEVELOPMENT AT 28 &
30 MCKAY AVENUE
MOOREBANK